GENERAL NOTES ARCHITECTURAL ABBREVIATIONS (2021 version)

IN GENERAL, PLAN DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF CONCRETE,
 UNLESS OTHERWISE NOTED. DO NOT SCALE THESE DRAWINGS. USE CALCULATED
 DIMENSIONS ONLY. VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO
 CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 PERSONS USING THE INFORMATION IN THESE CONSTRUCTION DOCUMENTS WITHOUT

PERMISSION OF THE ARCHITECT DOES SO AT THEIR OWN RISK AND BY SUCH AGREES TO INDEMNIFY THE ARCHITECT AS WELL AS ARCHITECT'S EMPLOYEES AND CONSULTANTS, AND TO HOLD HARMLESS FOR ANY INJURY OR LOSS OF DAMAGE THAT MAY OCCUR.

3. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED. TO NORMAL WORKING HOLDS: AND THAT

INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ARCHITECT.

. THE CONTRACTOR SHALL HAVE AND MAINTAIN INSURANCE AS APPROVED BY THE

BUILDING OWNER AND THE TENANT IF TENANT IS THE CONTRACTORS CLIENT.

5. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THAT ALL PROPERTY IS PROTECTED DURING THIS CONSTRUCTION. ANY DAMAGE OR CHANGED CONDITIONS SHALL BE REPAIRED AND RESTORED TO A CONDITION EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF THE WORK. CONTRACTOR SHALL RESTORE ANY DAMAGE AT HIS OWN EXPENSE. WHERE EXISTING WORK IS DAMAGES, CUT OR DEFACED DUE TO PERFORMANCE OF NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR SAME TO MATCH ADJOINING SURFACES. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNER, CEILING LINES, TOP OF BASE OR SIMILAR.

6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK.
NOTIFY ARCHITECT OF ANY DISCREPANCIES.

7. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE

SAME AS FOR OTHER SIMILAR WORK.

8. ALL WORK SHALL COMPLY WITH THE 2009 IBC, IFC, IPC, IMC AS AMENDED BY WASH.
STATE. PROJECT SHALL ALSO COMPLY W/ JURISDICTIONAL CODE AMENDMENTS BY THE
LOCAL AGENCY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS &
INSPECTIONS TO COMPLETE THE WORK. CONTRACTOR TO HAVE CURRENT VALID CITY
OR COUNTY BUSINESS LICENSE PRIOR TO ISSUANCE OF PERMIT. WHEN REQUIRED BY

ERRORS, OMISSIONS AND DISCREPANCIES, IF ANY, SHALL BE REFERRED TO THE ARCHITECT IMMEDIATELY FOR DIRECTION OF HOW TO PROCEED.

10. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT BY OTHERS PROVIDE ALL BLOCK-OUTS, BLOCKING, BACKING AND JACKS REQUIRED FOR DUCTS, PIPES, CONDUITS, EQUIPMENT, FIXTURES AND CABINETS. VERIFY SIZE AND LOCATION.

11. DO NOT SIGNIFICANTLY VARY OR MODIFY THE WORK SHOWN, EXCEPT UPON WRITTEN INSTRUCTIONS OF THE ARCHITECT.

VERIFY LOCATION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO SEWER, SEPTIC, WATER, GAS, POWER AND TELEPHONE. CAP. MARK AND PROTECT.
 DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN, MINOR MODIFICATION

MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK OF THE CONTRACT.

14. PROVIDE CLOSURE, MEETING THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, AT RATED PARTITIONS, FLOORS, CEILINGS, AND ROOF LOCATIONS. ALL REQUIRED FIRE-

RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE.

15. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE

PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

16. THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES, INCLUDING DESIGN-BUILD DOCUMENTS REQUIRED BY CONTRACT DOCUMENTS, TO VERIFY SIZE, WEIGHT, POWER, LOCATION AND OTHER REQUIREMENTS AND LOCATION OF THOSE ITEMS TO BE

INSTALLED PRIOR TO COMMENCEMENT OF WORK.

17. ELECTRICAL, MECHANICAL AND PLUMBING: GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED ENGINEERING, CALCULATIONS, FORMS, APPLY, PAY FOR & OBTAIN ALL

18. GENERAL CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS, ACTUAL FIELD CONDITIONS AND ANY DESIGN AND LAYOUT CHANGES REQUIRED DUE TO ANY SPECIFIC EQUIPMENT SELECTIONS OR ANY OTHER REASON PRIOR TO PURCHASING EQUIPMENT AND MATERIAL.

19. PROVIDE BARRIER FREE SIGNAGE AT RESTROOMS.
 20. MOUNT ALL SINKS AT 34" AFF, UNO. COUNTERS 34" AFF WHEN SINK COUNTER MOUNTED.
 21. EXTERIOR BUILDING SIGNAGE IS NIC. CONTRACTOR TO PROVIDE POWER TO SIGN

THE ARCHITECT HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES OR PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR CONTRACTOR'S EMPLOYEES, OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.

23. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE

24. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE ARCHITECT. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE ARCHITECT.

25. PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS IN ATTICS, FLOORS AND WALL CAVITIES AS REQUIRED PER THE IBC.
 26. CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL

CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THE SET SHALL BE A PART OF THE CONTRACTOR'S CLOSE-OUT PACKAGE TO THE OWNER. CLOSE- OUT PACKAGE SHALL INCLUDE (3) SET OF SHOP DRAWINGS, PRODUCT LITERATURE, EQUIPMENT WARRANTEE MANUALS.

27. CONTRACTOR SHALL PROVIDE SOLID BLOCKING, UNLESS NOTED OTHERWISE AS REQUIRED FOR NAILING OF ALL INTERIOR AND EXTERIOR TRIMS, FINISHES AND FIXTURES. THE CONTRACTOR SHALL PROVIDE FOR ALL THE NECESSARY FRAMING AND BRACING FOR THE INSTALLATION OF OWNER FURNISHED ITEMS.

CONTRACTOR SHALL ONLY PROCEED WITH WORK WHERE HAZARDOUS MATERIALS ARE PRESENT AFTER RECEIPT OF THE BUILDING OWNERS HAZARDOUS MATERIALS GOOD FAITH REPORT REQUIRED BY THE STATE. PRIOR TO ANY DEMOLITION VERIFY & PERFORM ADDITIONAL HAZARDOUS MATERIAL TESTING AS REQUIRED. LEGALLY REMOVE HAZARDOUS MATERIALS. PROVIDE LEGAL DOCUMENTATION. CONTRACTOR SHALL COMPLY WITH FEDERAL AND STATE RULES AND REGULATIONS WHEN HANDLING, REMOVING OR ENCAPSULATING HAZARDOUS MATERIALS ON THE PROJECT.

29. LEGALLY REMOVE & DISPOSE OF THE DEMOLITION AND CONSTRUCTION DEBRIS.
 30. DIMENSIONS TO STUD FACE UNLESS NOTED AS "CLEAR" OR "CLR" WHICH MEANS TO

ABOVE ABOVE FINISH FLOOR AC TILE ACOUSTICAL TILE ACOUSTICAL SUSPENDED CEILING ALUMINUM ARCHITECTURE A TILE ASPHALT TILE **AVERAGE BOTTOM FINISH FLOOR** BLKG BLOCKING BRICK BOTTOM OF STRUCTURE CAST IRON CLG CEILING CENTER LINE C TO C CENTER TO CENTER CERAMIC TILE CLEAN OUT COLD WATER COLUMN CONC CONCRETE CONCRETE MASONRY UNIT CONST CONSTRUCTION CONT CONTINUOUS COORD COORDINATE CORRIDOR CFM **CUBIC FEET PER MINUTE** DETAIL DIAMETER DIMENSION DRAWER DOWNSPOUT DRAWING DRINKING FOUNTAIN **ELEC ELECTRICAL ELEV** ELEVATION EACH FACE EQUAL FXISTING EXTERIOR FACE OF FINISH OPENING FRP FIBERGLASS REINF POLYESTER FIRE ALARM ANNUNICATOR PANEL FAAP FIRE DRAIN W/ PRIMER FIRE EXTINGUISHER FIRE RETARDANT TREATED **FLASH** FLASHING FLOOR FLOOR SINK FOUNDATION

INSTALLED BY OWNER
FURNISHED BY CONTRACTOR
INSTALL BY CONTRACTOR
FURNITURE
GAUGE
GLASS
GALVANIZED
GYPSUM WALLBOARD TYPE X
GREASE INTERCEPTOR
HANDICAP
HARDWARE
HEAT PUMP
HEIGHT

HEIGHT
HOLLOW METAL
HORIZONTAL
HOSE BIB, COLD WATER
HOT WATER
HOT WATER TANK
HOLLOW METAL
INSIDE DIMENSION
L

FURNISHED BY OWNER

FURNISHED BY OWNER

INSTALLED BY CONTRACTOR

FOIC

FOIO

FCIC

HDWR

INT INTERIOR
JNT JOINT
LVL LEVEL
L LONG LINE
LAV LAVATORY
LIN LINOLEUM
LT LIGHT
MAR MARBLE
MO MASONRY OPENING
MFR MANUFACTURE
MATL MATERIAL

MFR MANUFACTURE
MATL MATERIAL
MAX MAXIMUM
MECH MECHANICAL
MTL METAL
MIN MINIMUM
MUL MULLION

NAT NATURAL
NOM NOMINAL

NA NOT APPLICABLE
NIC NOT IN THIS CONTRACT
NTS NOT TO SCALE
NO. NUMBER

OC ON CENTER
OD OUTSIDE DIMENSION

O/O/OVER
OVDH
OVERHEAD

PNT
PAINT
PTD
PAINTED
PL
PLASTIC LAMINATE
P LAM
PLASTIC LAMINATE

PLAW PLAWINATE
PLYWD PLYWOOD
PT PRESSURE-TREATED WOOD
POIC PROVIDED OWNER INSTALL BY GC
POIO PROVIDED OWNER INSTALL BY OWNER
QT QUARRY TILE
RC RESILIENT CHANNEL
RL RAIN LEADER
REF REFRIGERATOR, REFERENCE

REINF
REV
REVISION
R
RISER, RADIUS
RM, RMS
RO
ROUGH OPENING
SAN
SANITARY DRAIN LINE
SEC
SECTION
SHT
SHEET

SHEET VINYL SOLID CORE **SPECS SPECIFICATIONS** SQUARE FEET STAINLESS STEE SHEET VINYL STEEL STORE STRUCT SUSP STORAGE STRUCTURAL SUSPENDED TACK BOARD TBD THRESH TO BE DETERMINED THRESHOLD TUBE STEEL

TYP TYPICAL
UNFIN UNFINISHED
UNO UNLESS NOTED OTHERWISE
VCT VINYL COMPOSITION TILE
VERT VERTICAL
VIN VINYL
VR VAPOR RETARDER
VTR VENT TO ROOF

WB WHIT BOARD
WC WATER CLOSET
WL WALL
WP WATERPROOFING
WRB WEATHER RESISTIVE BARRIER
WDW WINDOW

WOOD



PROJECT NOTES:

FLOOR PLAN NOTES:

PROVIDE BARRIER FREE SIGNAGE AT RESTROOMS
 CONFIRM ALL ROUGH OPENINGS FOR DOORS AND WINDOWS PRIOR TO FRAMING AND ORDERING.
 CONFIRM ALL FINISHES W. OWNER AND ARCHITECT PRIOR TO ORDERING

DEMOLITION NOTES:

 LEGALLY REMOVE DEMOLITION DEBRIS FROM SITE.
 PROTECT ALL STRUCTURAL MEMBERS AND COLUMNS.
 DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE.

ELECTRICAL:

INSTALL NEW POWER OUTLETS AS REQ'D
 INSTALL NEW DATA DROPS IF REQ'D
 TRIM TO MATCH EXISTING.

PLUMBING NOTES:

RELOCATE AND INSTALL NEW PLUMBING AS SHOWN
 HVAC NOTES:

1. RELOCATE EXISTING HVAC DUCTING AND REGISTERS AS REQ'D

OWNER:

NORTH

SAN JUAN ISLAND SCHOOL DISTRICT #149 285 BLAIR AVENUE FRIDAY HARBOR, WA 98250 P) 360.378.4133

DESIGN TEAM:

ARCHITECT SARAH BROWN ARCHITECTURE + DESIGN CONTACT: SARAH BROWN 3222 EAGLERIDGE WAY BELLINGHAM, WA 98226 C) 360.920.5498

DRAWING INDEX:

A8.02

ARCHITECTURAL

A1.01	TITLE PAGE & PROJECT INFO
A1.02	SITE PLAN
A3.01	HIGH SCHOOL REFERENCE PLAN
A3.02	HS EXTERIOR ELEVATIONS
A3.03	HS EXTERIOR ELEVATIONS
A7.01	WINDOW WRAP DETAILS
A7.02	WINDOW & EXTERIOR DTLS.
A7.03	EXTERIOR DETAILS
A8.01	APPENDIX A FLOOR PLAN 1

APPENDIX A FLOOR PLAN 2

PROJECT DATA:

SITE ADDRESS:

FRIDAY HARBOR HIGH SCHOOL 45 BLAIR AVE FRIDAY HARBOR, WA 98250

PARCEL NO.: HS: 351491002000

LEGAL DESCRIPTION:

HS: PR OF FRIDAY HARBOR TRACTS 10-02 (PR NE-NE) - GRADE & HIGH SCHOOLS Sec 14, T 35N, R 3W

PROJECT DESCRIPTION:

THE FRIDAY HARBOR HIGH SCHOOL REQUIRE SIDING AND TRIM REPLACEMENT BUILDING AREAS & PROJECT DATA:

SITE: 10.54 ACRES

HIGH SCHOOL

TOTAL HS BUILDING AREA: 77,621 SQFT

OCCUPANCY GROUP: E1

CONSTRUCTION TYPE: TYPE V - 1 HR

FIRE RESISTANCE: SPRINKLERED

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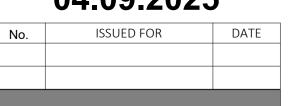
FRIDAY HARBOR HIGH SCHOOL RESIDING

45 BLAIR AVE FRIDAY HARBOR, WA 98250

SB JOB NO: 202410.01

DATE: 04.09.2025

BID SET 04.09.2025



TITLE PAGE & PROJECT INFO.

A1.01



FRIDAY HARBOR **HIGH SCHOOL**

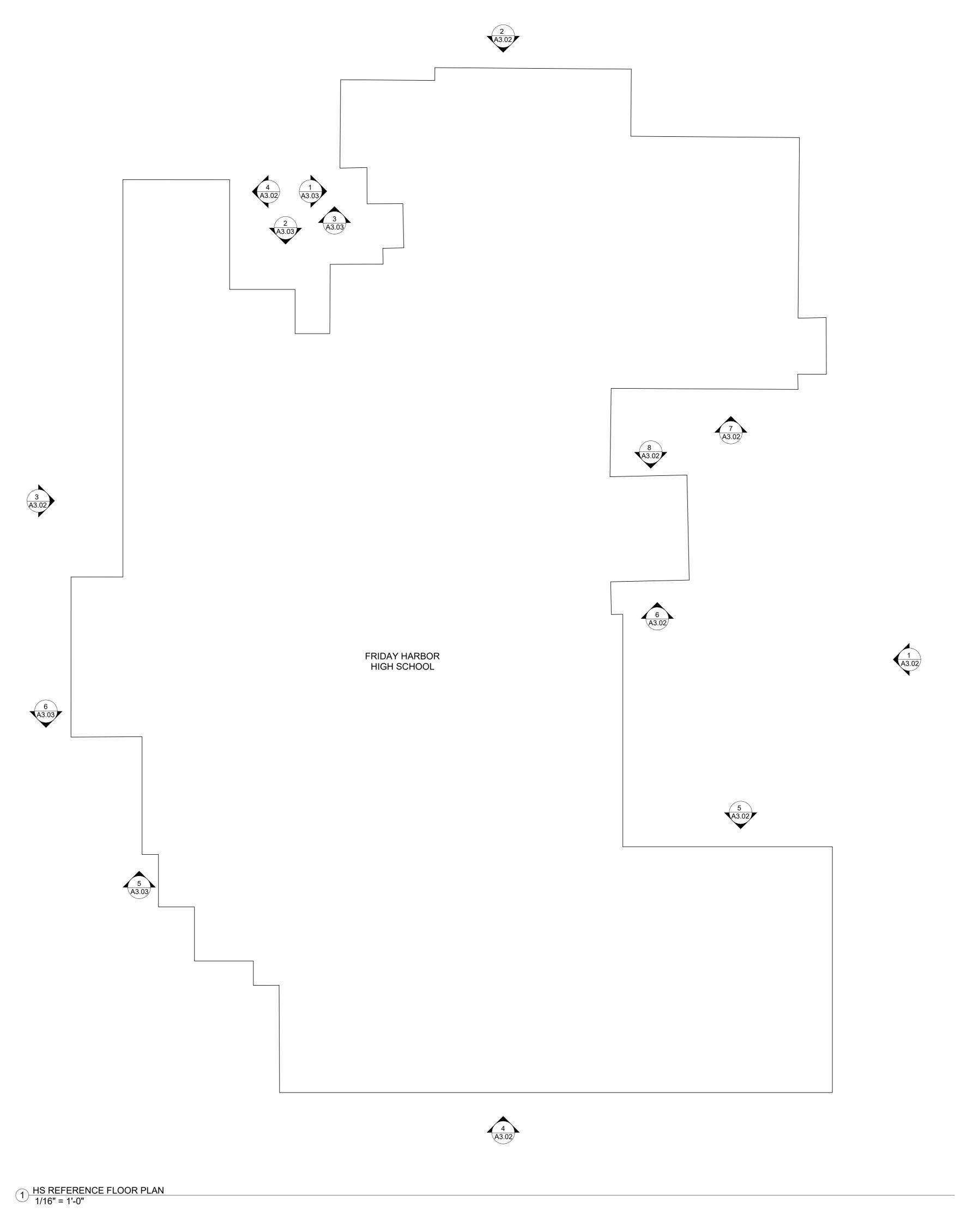
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04.09.2025

202410.01

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A1.02 Md 813-81





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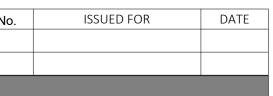
FRIDAY HARBOR HIGH SCHOOL RESIDING

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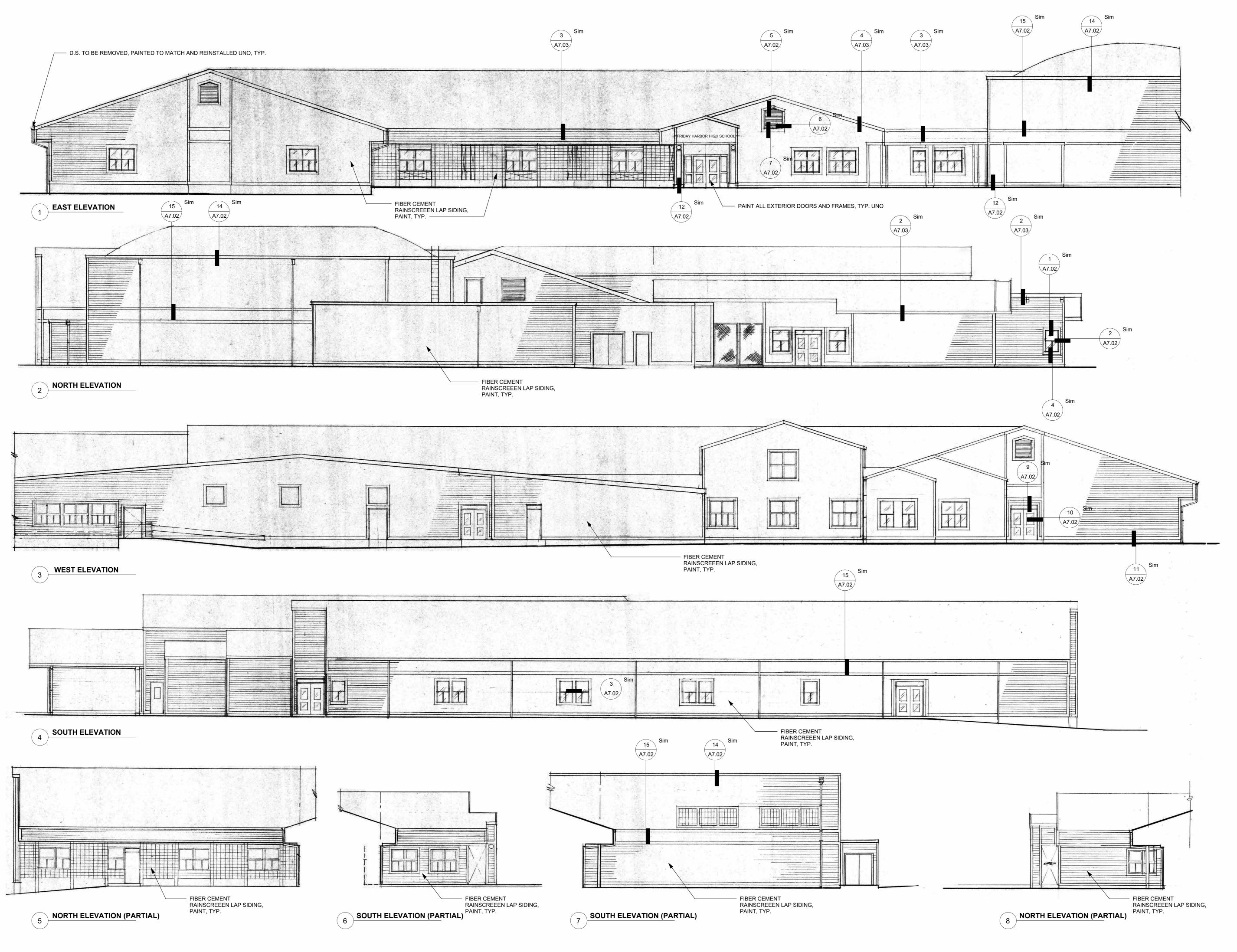
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HIGH SCHOOL
REFERENCE
PLAN
A3.01





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202410.01 04.09.2025

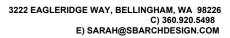
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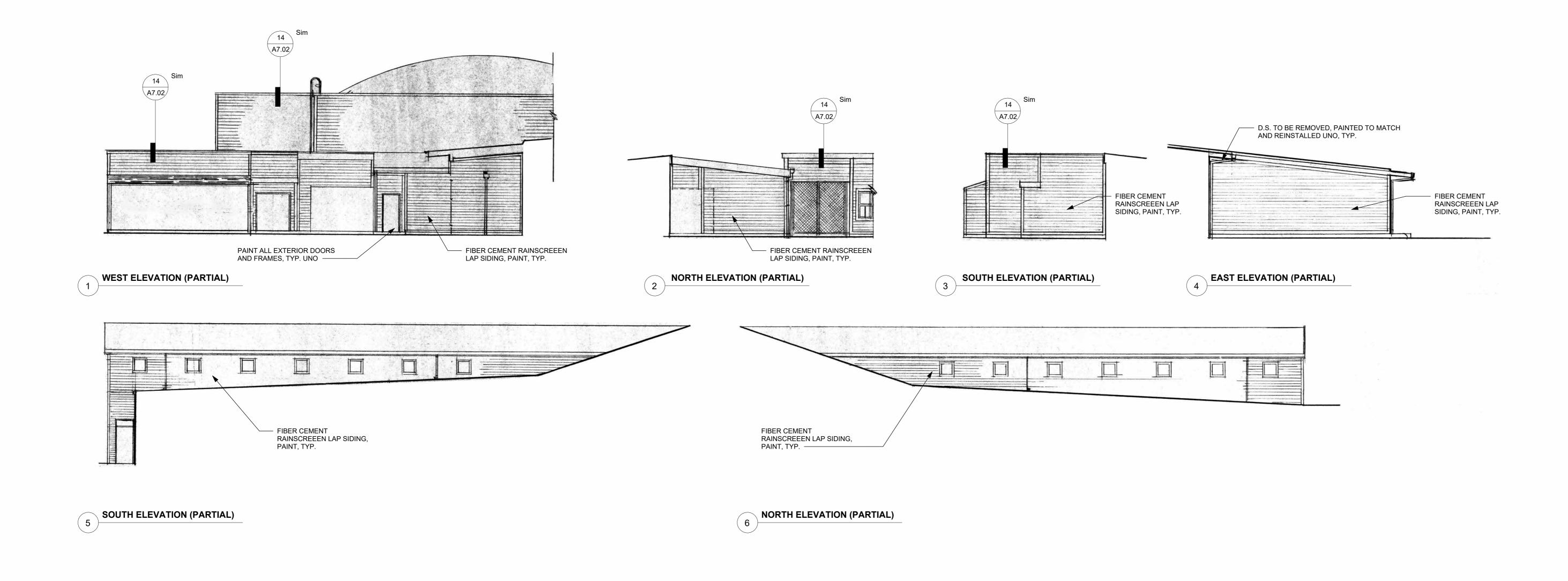
o. ISSUED FOR DATE

HS EXTERIOR ELEVATIONS

A3.02 Md St.151.18





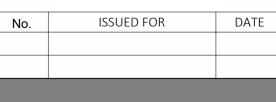


FRIDAY HARBOR HIGH SCHOOL RESIDING

45 BLAIR AVE FRIDAY HARBOR, WA 98250

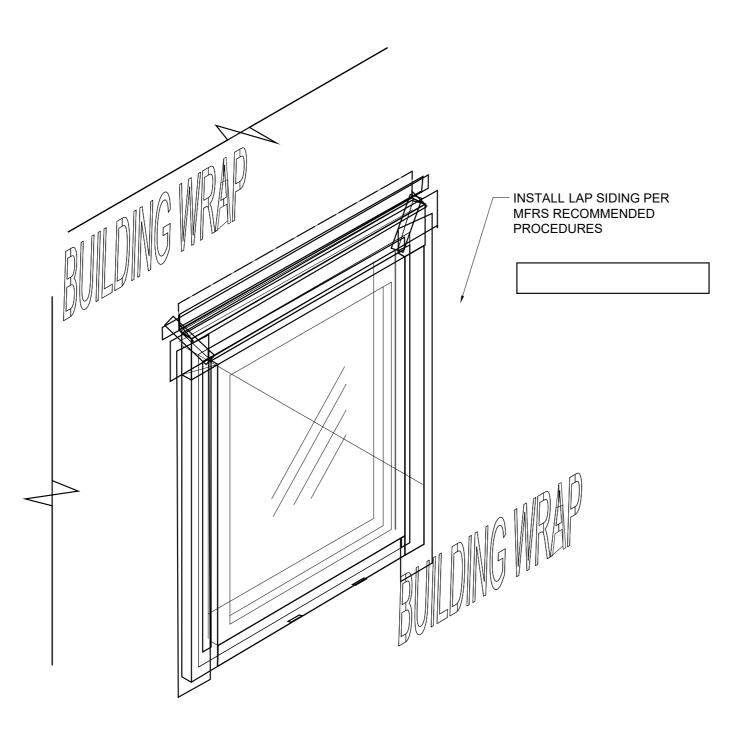
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HS EXTERIOR ELEVATIONS

A3.03



STEP 7 SCALE: NTS

GENERAL WEATHERPROOFING INSTALLATION NOTES:

INSTALL FLASHING, MEMBRANES AND SEALANT DURING FAVORABLE WEATHER CONDITIONS. INSURE PROPER ADHESION, CONTACT AND SEAL PRIOR TO COVERING

VERIFY COMPATIBILITY WITH DISSIMILAR MATERIALS. CONFIRM EXPANSION TOLERANCES WITH MANUFACTURE PRIOR TO INSTALLATION.

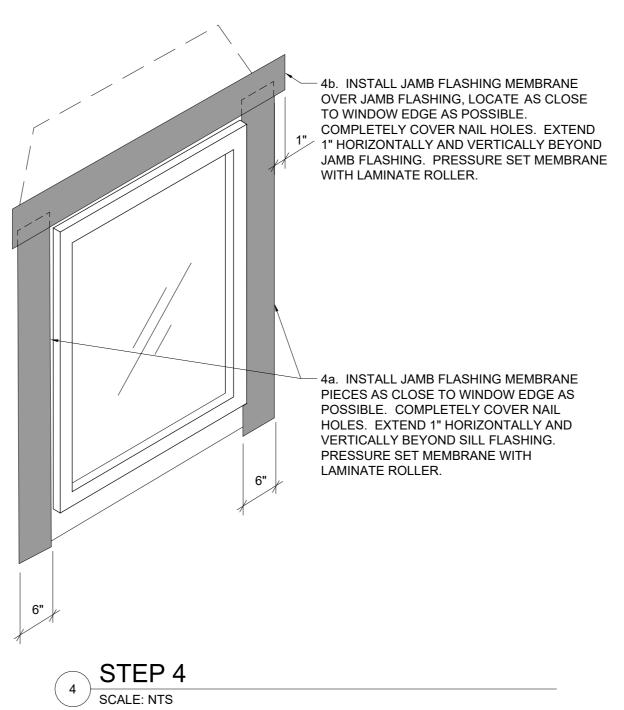
INSTALL LIKE PRODUCTS ACCORDING TO MANUFACTURES GUIDELINES.

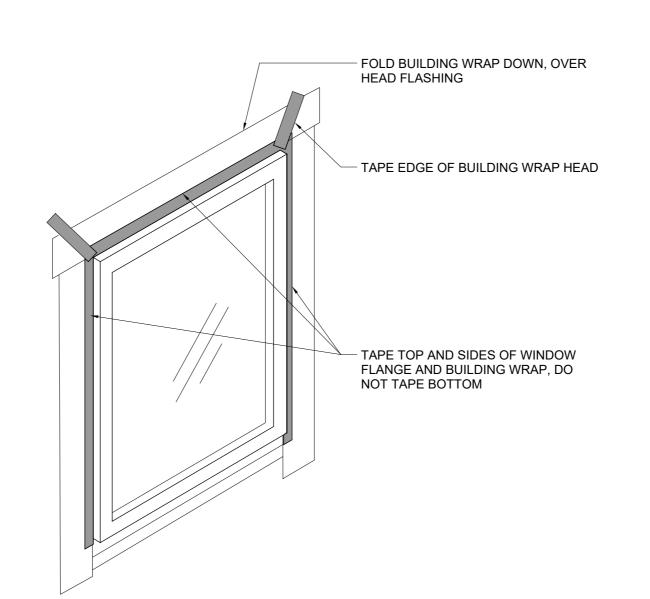
DO NOT COVER SUBSTANDARD OR SUSPECT INSTALLATION OF ANY OTHER TRADE.

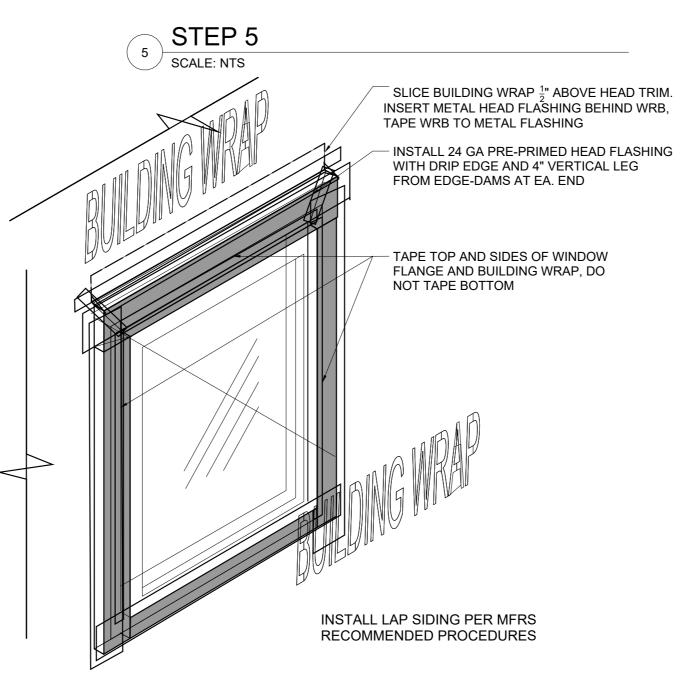
ALL EXTERIOR WALL & ROOF OPENINGS, FLASHING, COUNTER-FLASHING, EXPANSION JOINTS, BACKER-ROD, SEALANT AND FASTENERS TO BE CONSTRUCTED IN IN A WORKMAN LIKE MANNER REQUIRED TO MAKE THEM WEATHERPROOF AND WATERTIGHT.

SHEET NOTES:

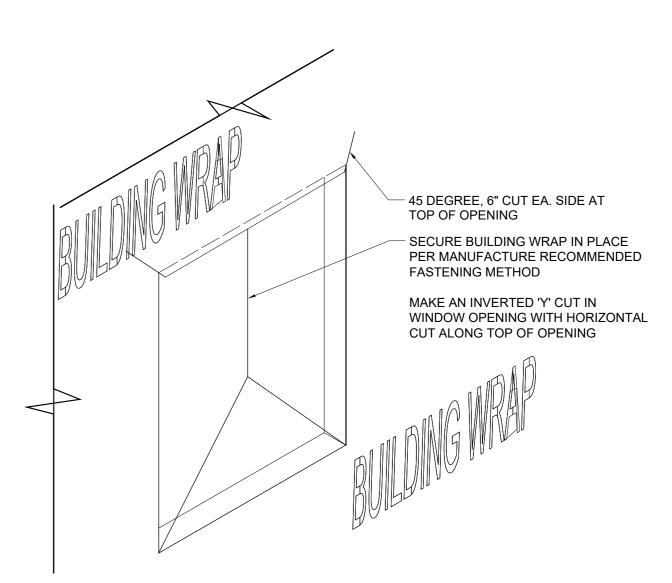
DETAILS 1-3 ONLY APPLY WHEN REPLACING NEW WINDOWS, PER OWNERS DIRECTION.
DETAILS 4-7 ARE TO OCCUR AT EVERY FENESTRATION LOCATION FOR SIDING PROJECT, UNO.



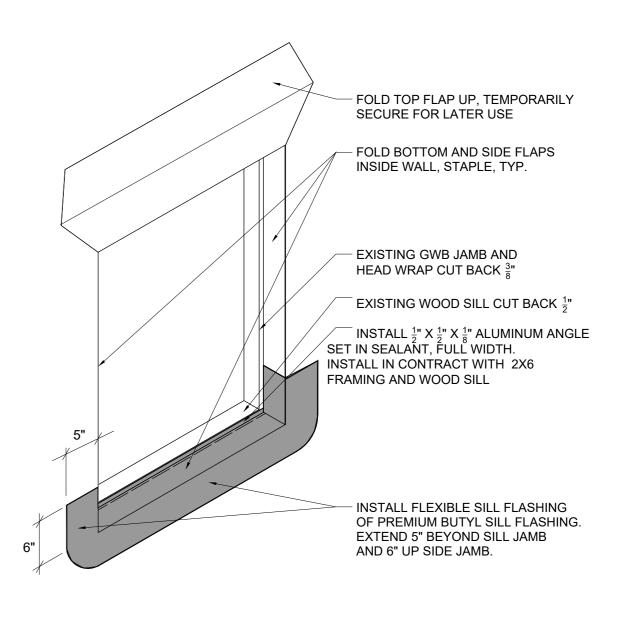


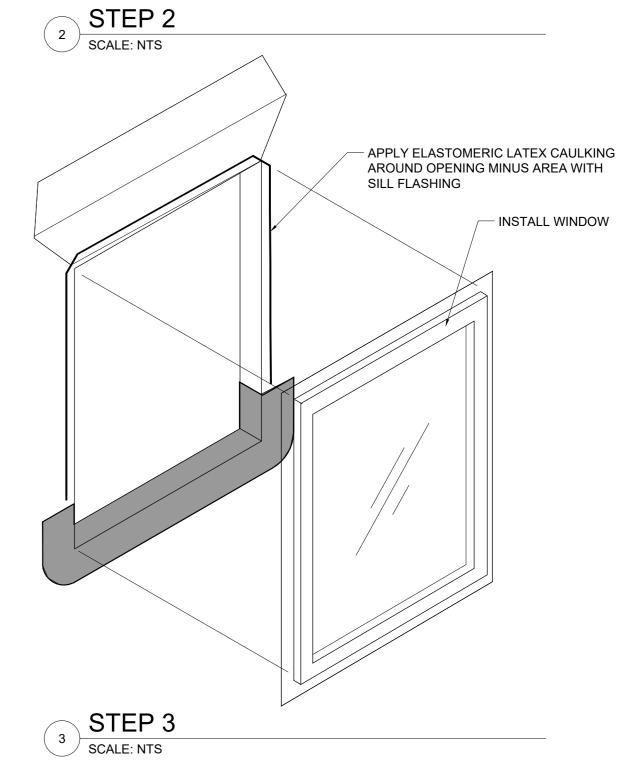






STEP 1
SCALE: NTS







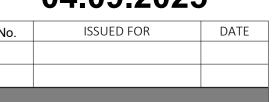
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RESIDING

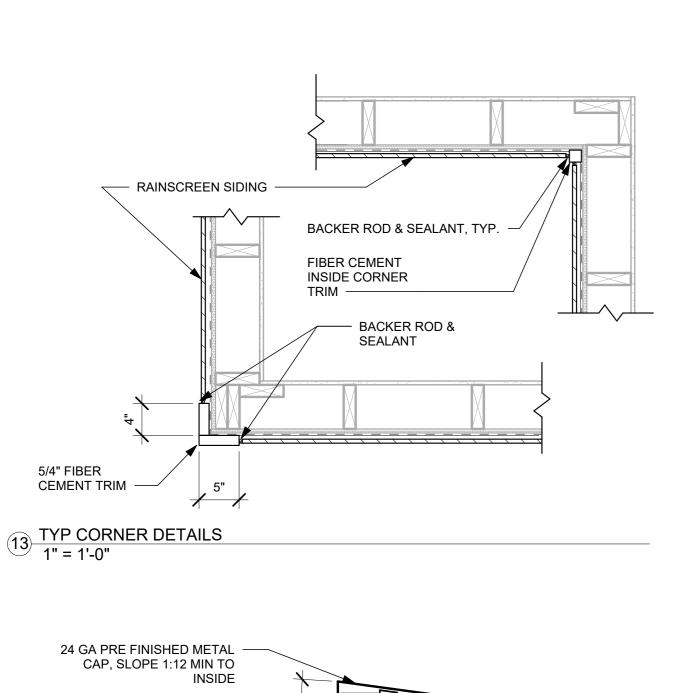
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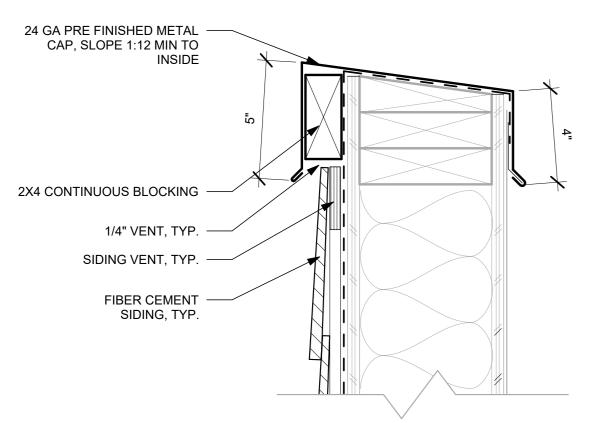
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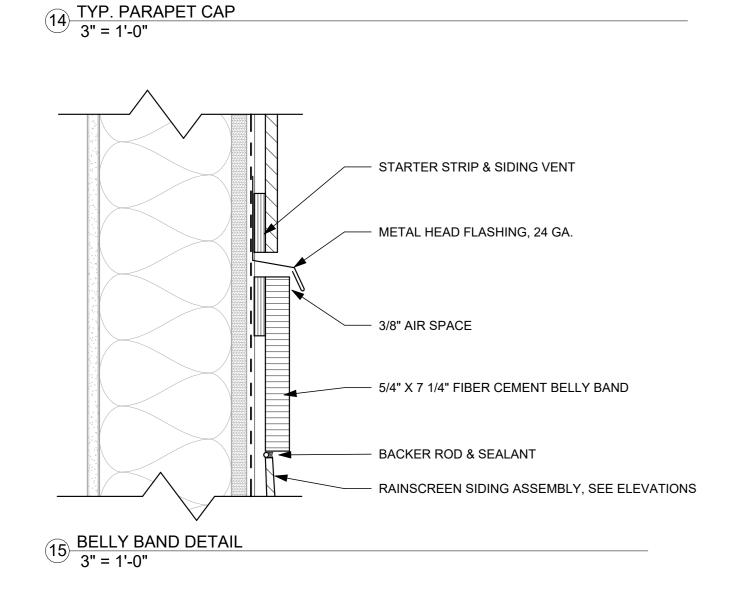


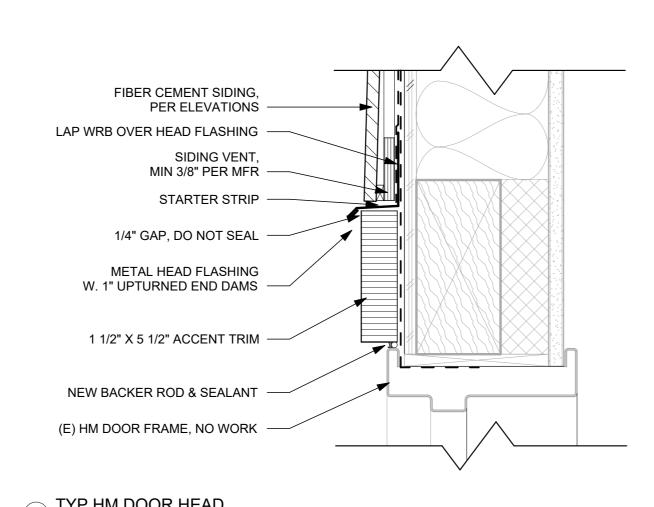
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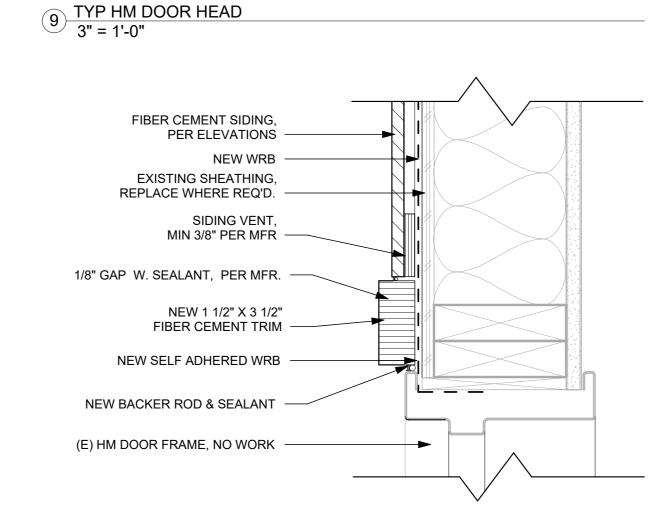
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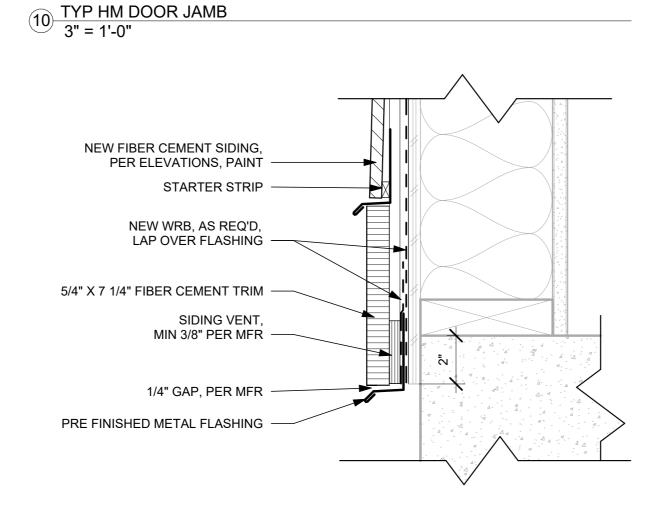


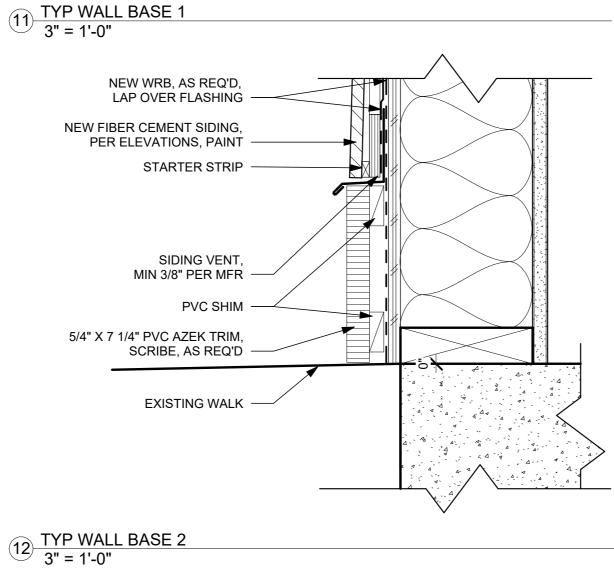


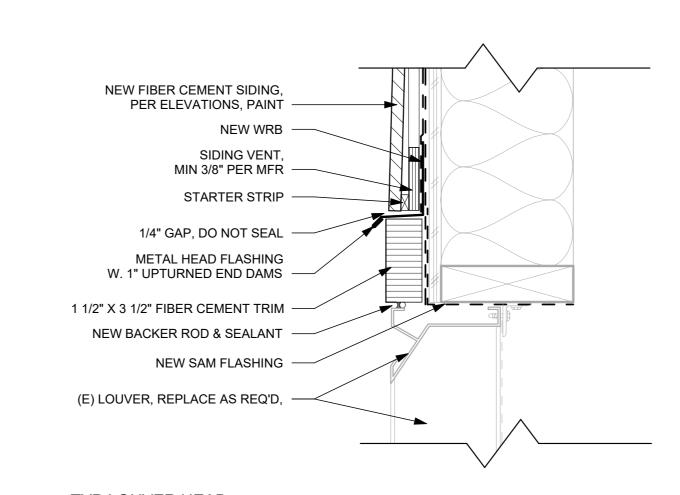


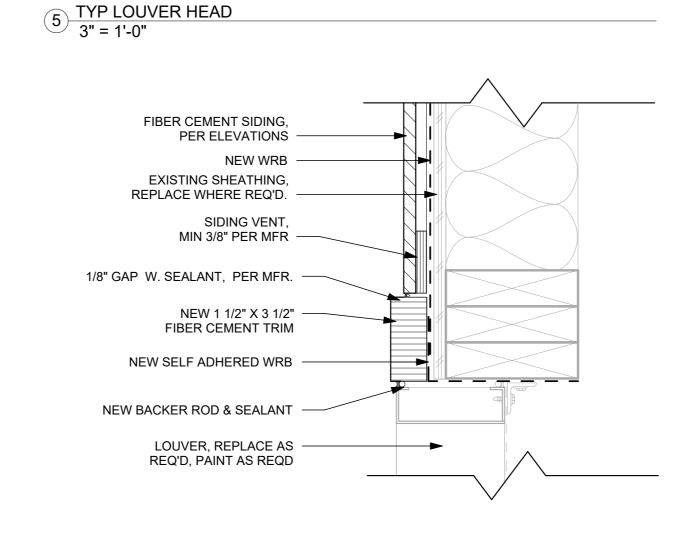


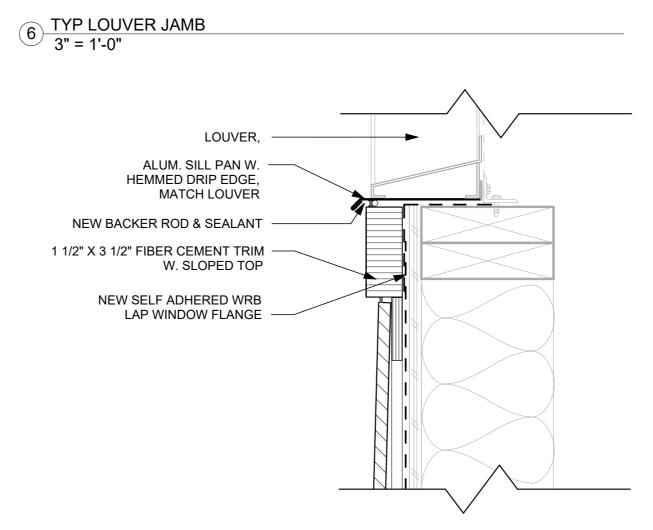


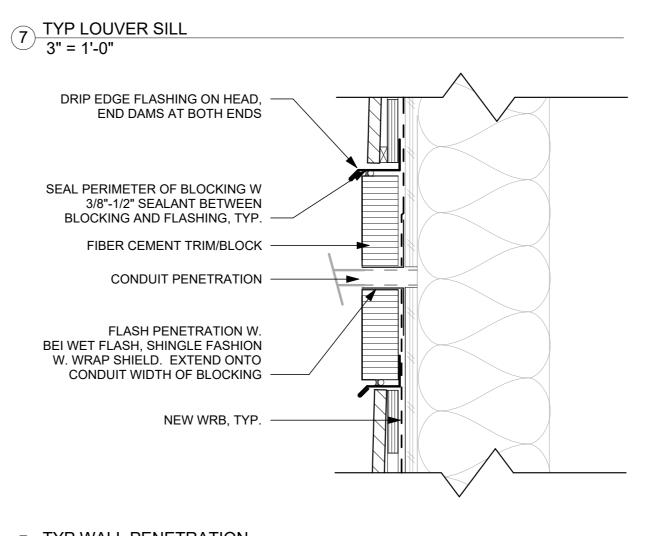


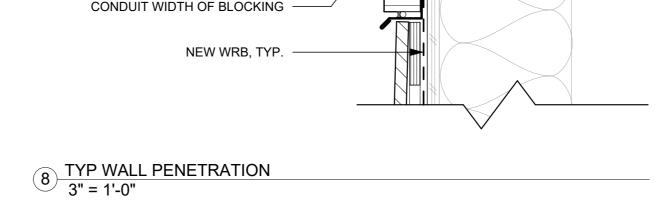


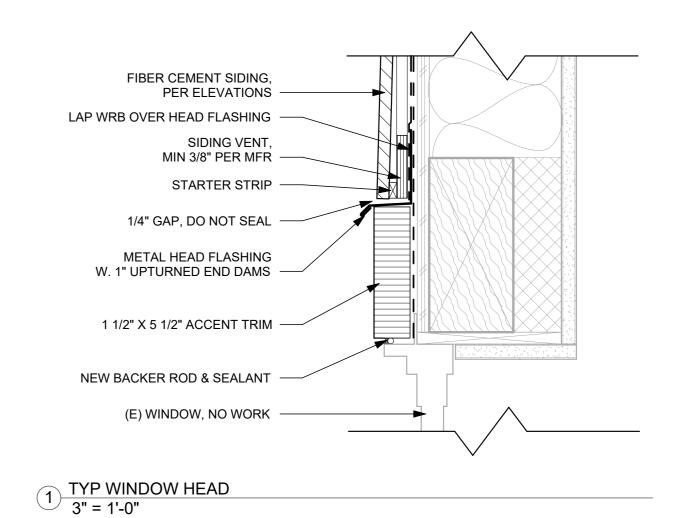


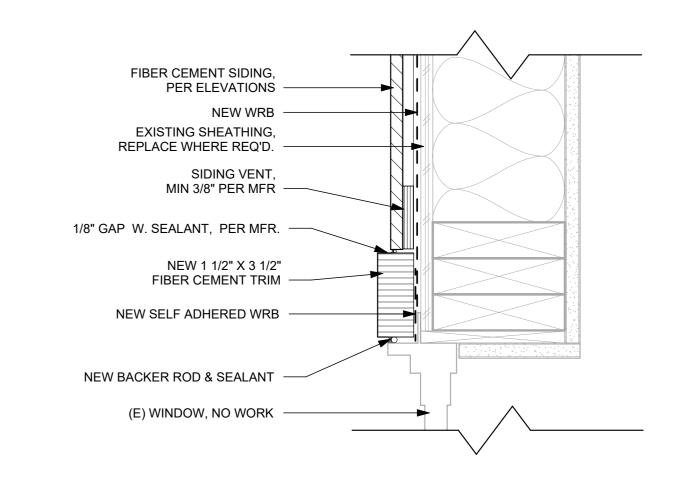


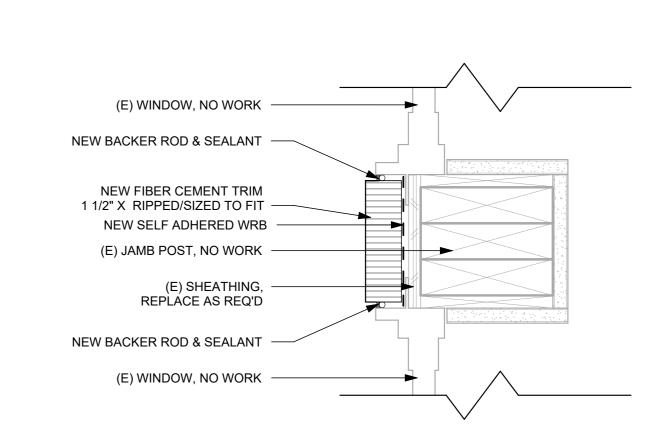




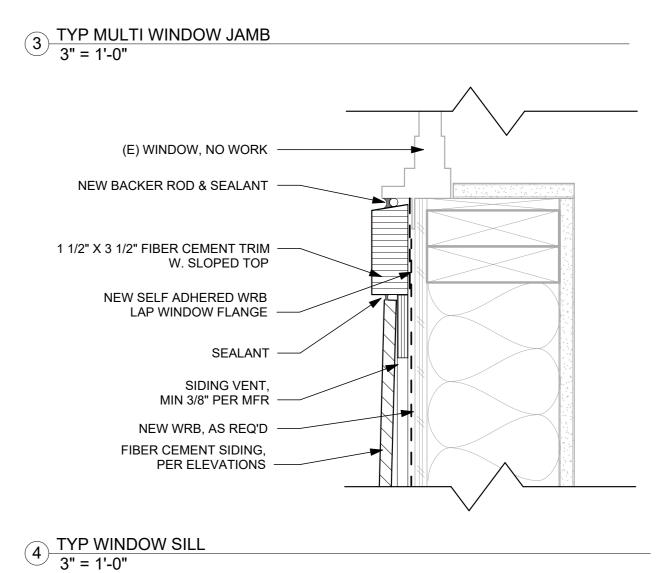




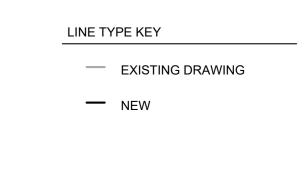




2 TYP WINDOW JAMB 3" = 1'-0"





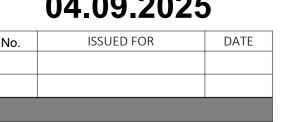


FRIDAY HARBOR **HIGH SCHOOL RESIDING**

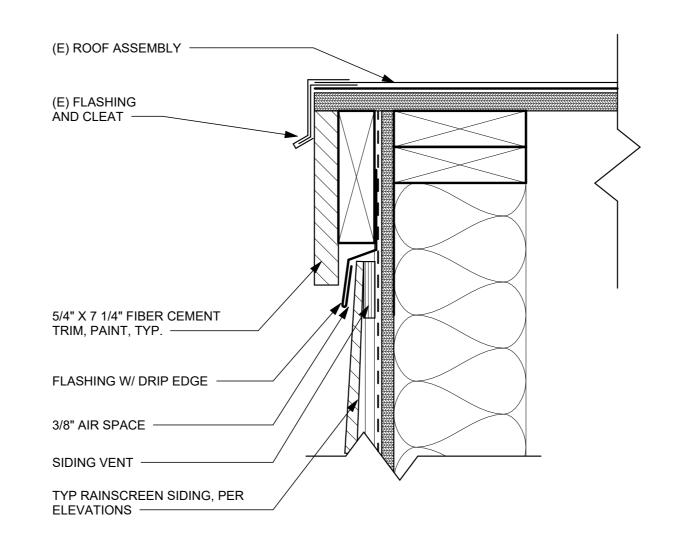
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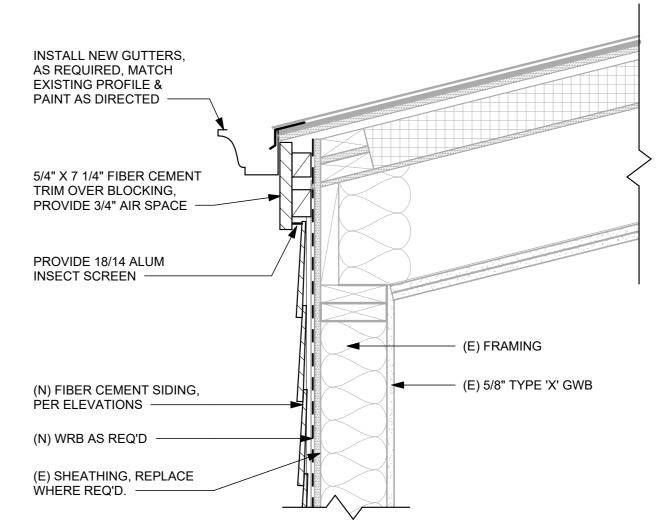
WINDOW & EXTERIOR DTLS.



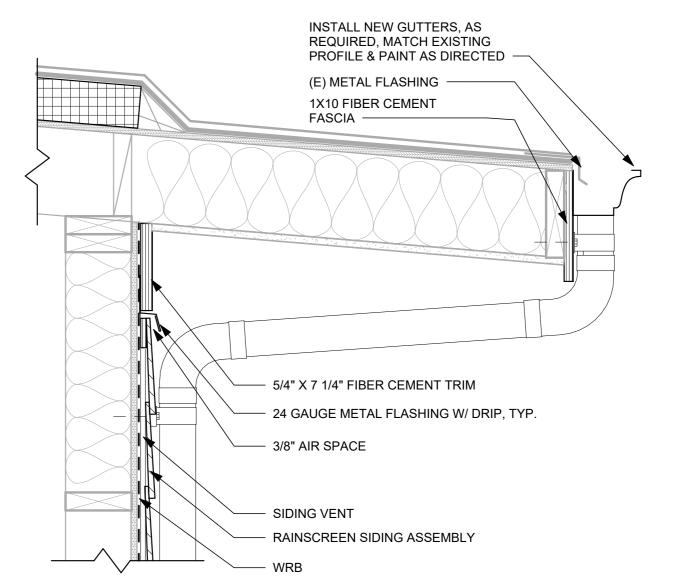
4 RAKE DETAIL 3" = 1'-0"



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1 1/2" = 1'-0"

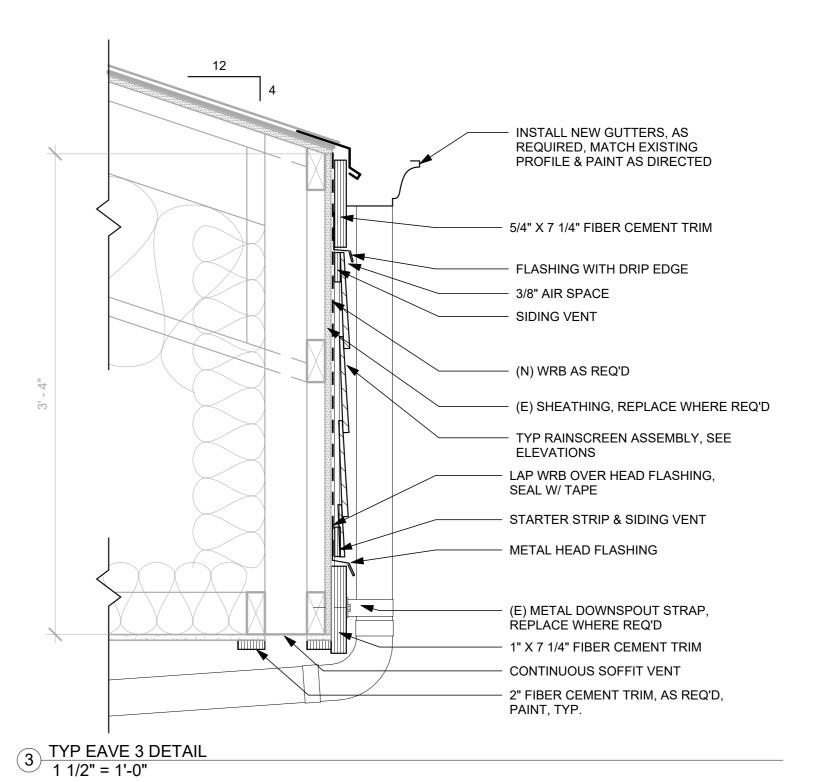


LINE TYPE KEY

— EXISTING DRAWING

— NEW

2 TYP EAVE 4 DETAIL 1 1/2" = 1'-0"



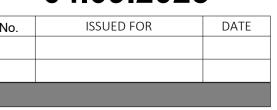
FRIDAY HARBOR HIGH SCHOOL RESIDING

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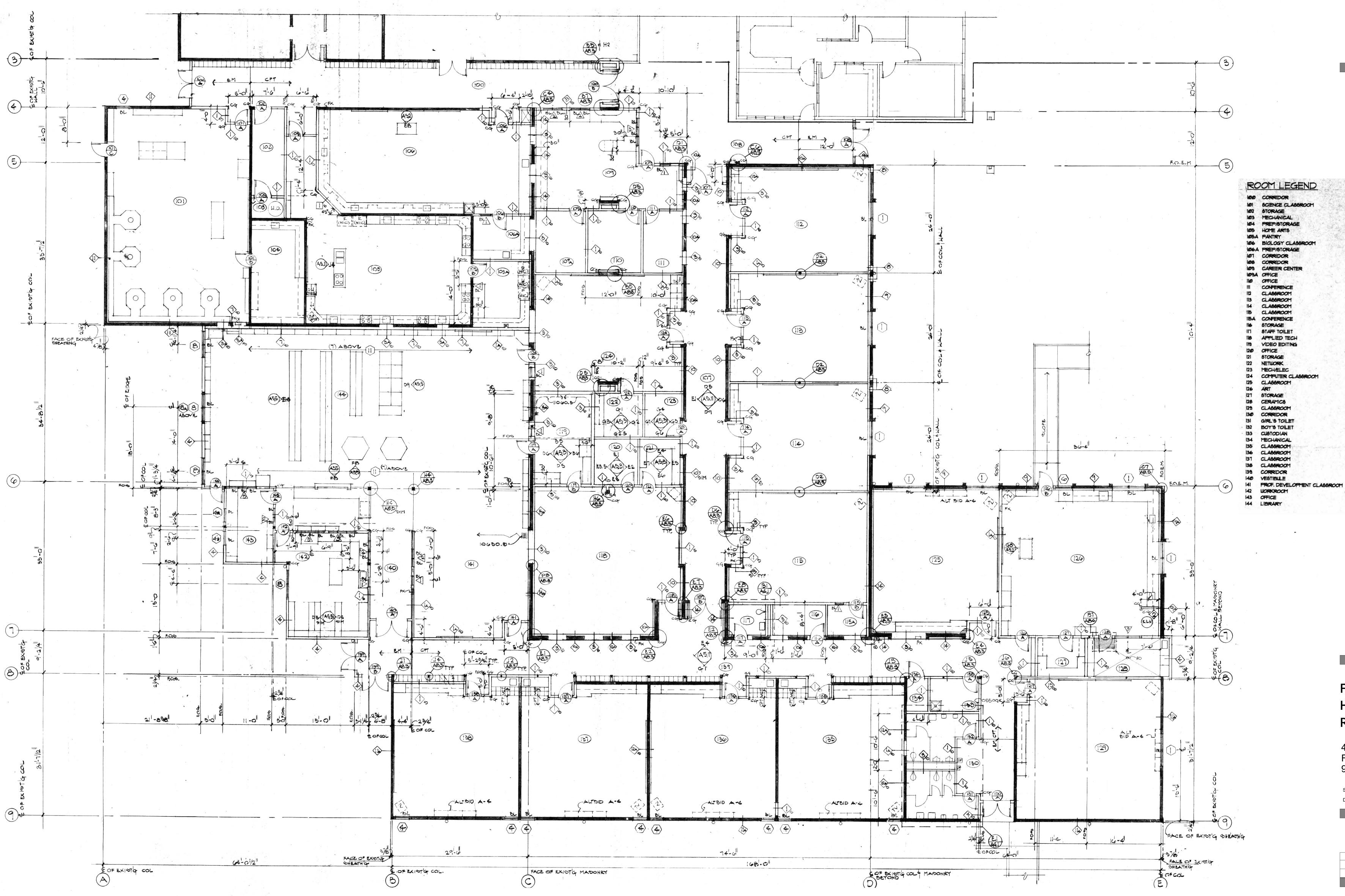
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EXTERIOR DETAILS

A7.03



1 ORIGINAL FLOOR PLAN 100 1/8" = 1'-0"

FRIDAY HARBOR HIGH SCHOOL RESIDING

45 BLAIR AVE FRIDAY HARBOR, WA 98250

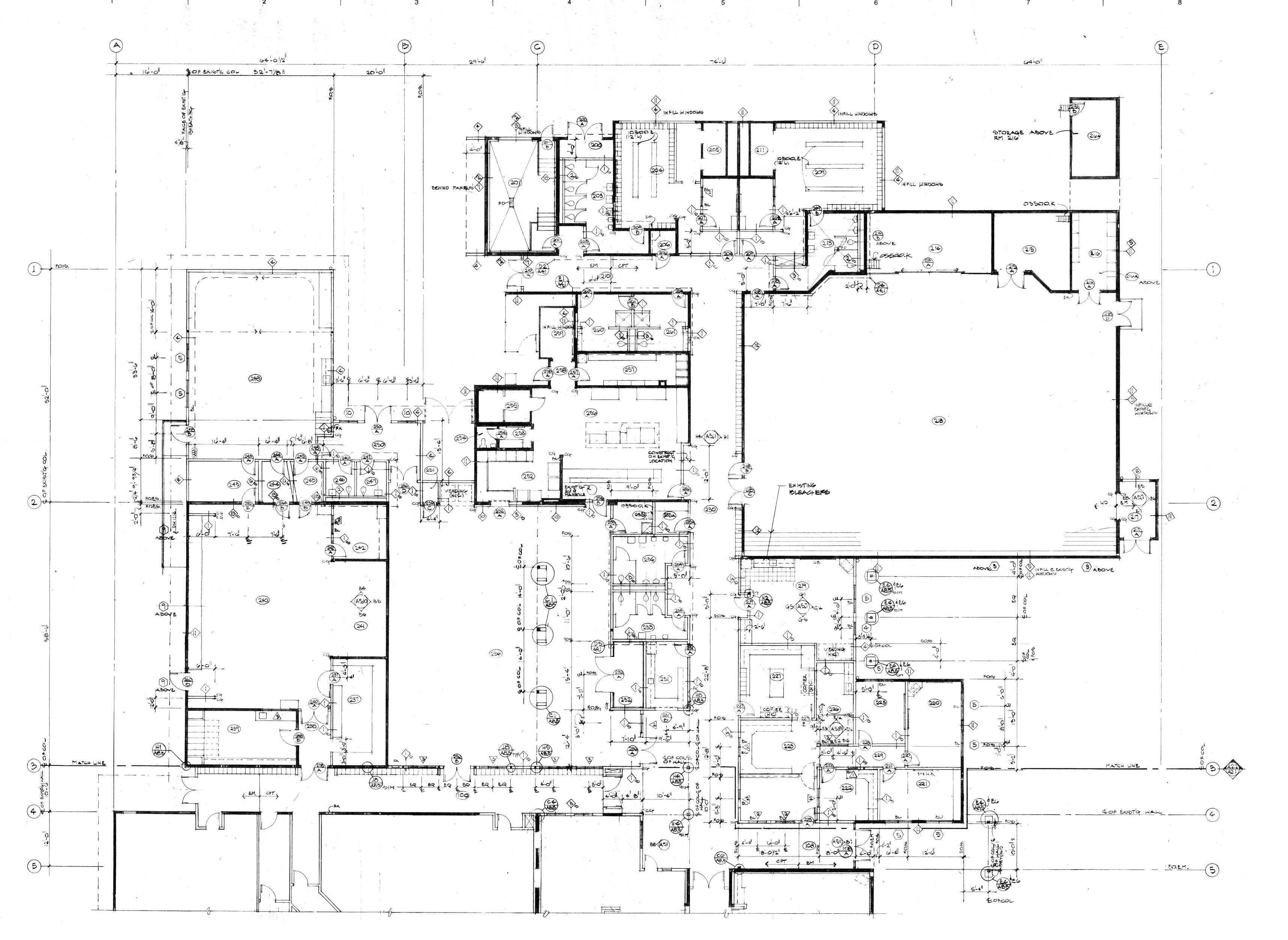
DATE:

CET

BID SET 04.09.2025

APPENDIX A FLOOR PLAN 1

A8.01



Friday Harbor High School, APPENDIX A

FRIDAY HARBOR HIGH SCHOOL RESIDING

45 BLAIR AVE FRIDAY HARBOR, WA 98250

DATE:

BID SET 04.09.2025

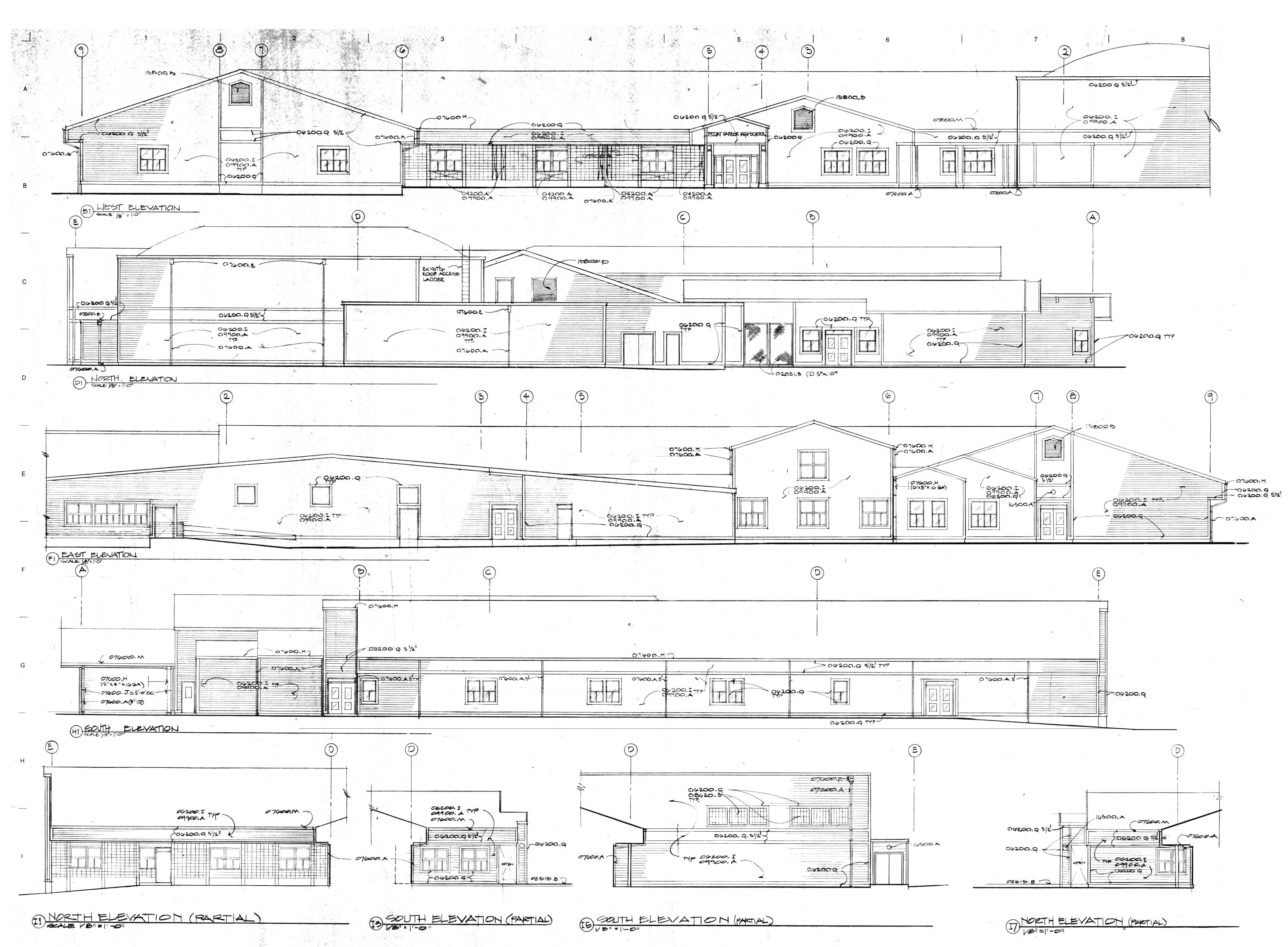
04.09.2025

o. ISSUED FOR DA

APPENDIX A FLOOR PLAN 2

A8.02

3222 EAGLERIDGE WAY, BELLINGHAM, WA 98226 C) 360.920.5498 E) SARAH@SBARCHDESIGN.COM



Friday Harbor High School, APPENDIX A

FRIDAY HARBOR **HIGH SCHOOL** RESIDING

45 BLAIR AVE FRIDAY HARBOR, WA 98250

04.09.2025

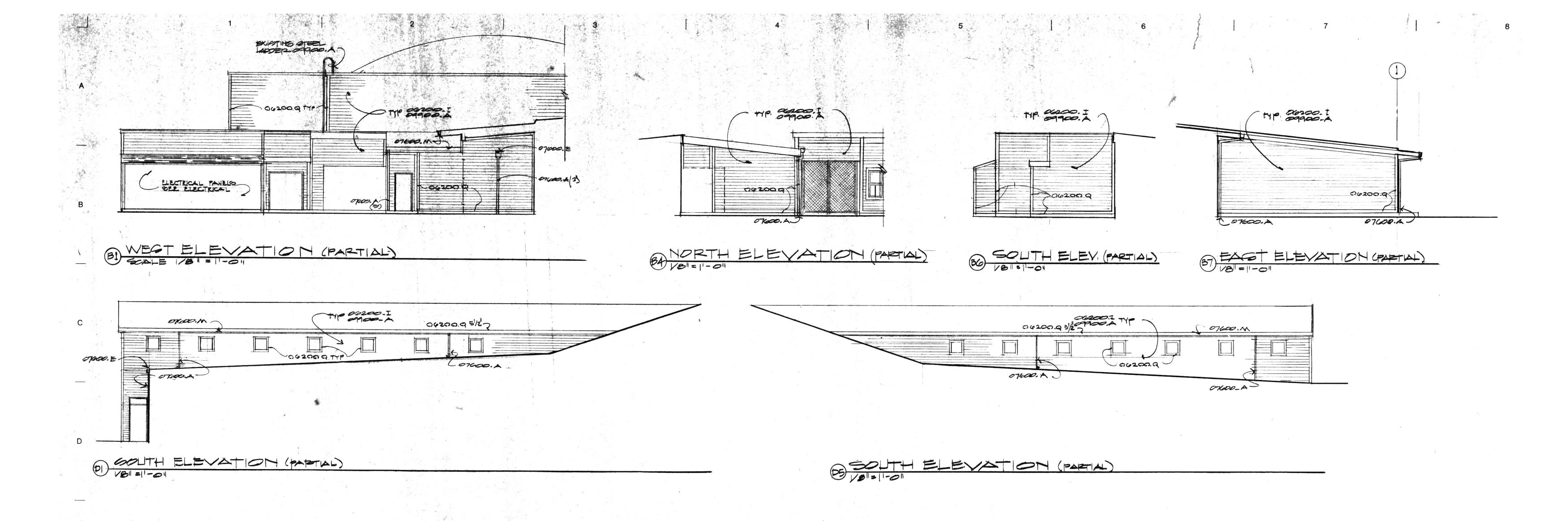
BID SET 04.09.2025

ISSUED FOR

APPENDIX A ELEVATIONS

A8.03 PM S:85.22 PM





Friday Harbor High School, APPENDIX A

FRIDAY HARBOR HIGH SCHOOL RESIDING

45 BLAIR AVE FRIDAY HARBOR, WA 98250

DATE:

SET

202410.01 04.09.2025

BID SET 04.09.2025

No. ISSUED FOR

APPENDIX A

ELEVATIONS

A8.04